

SHEET SEQUENCE NO.

	DRAWING INDEX				
NO.	SHEET TITLE				
G-001	COVER SHEET				
5-001	ROOF WIND ULTIMATE LOADS				
AD-101	ROOF PLAN - REMOVALS				
A-001	PHASING & KEY PLAN				
A-101	FLOOR PLAN - NEW WORK				
A-201	EXTERIOR ELEVATIONS - NORTH				
A-202	EXTERIOR ELEVATIONS - EAST				
A-203	EXTERIOR ELEVATIONS - SOUTH				
A-204	EXTERIOR ELEVATIONS - MEST				
A-501	DETAILS				
A-502	DETAILS				

GENERAL NOTES

NUMBERING CONVENTION

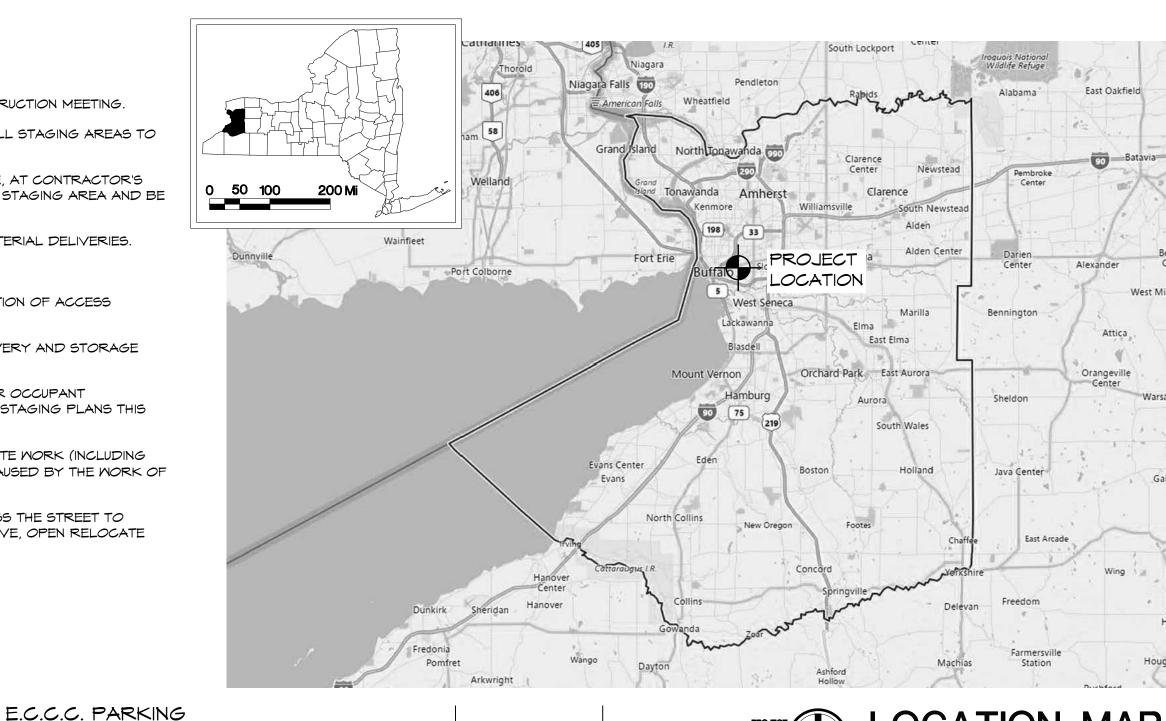
- (A) THIS BUILDING IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. ALL WORK OF THIS PROJECT MUST CONFORM WITH THE U.S. SECRETARY OF THE INTERIOR'S "STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES", LATEST EDITION.
- (B) QUANTITIES AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATION AND ARE INTENDED TO SERVE AS ORDER OF MAGNITUDE INDICATIONS OF WORK. ACTUAL REQUIREMENTS MAY VARY - VERIFY ALL DIMS. IN
- SEE SPEC. SECTION 015000, "TEMPORARY FACILITIES AND CONTROLS" FOR MORE INFORMATION REGARDING SITE WORK REQUIREMENTS.
- THIS BUILDING WILL REMAIN IN CONTINUOUS USE FOR THE ENTIRE TIME OF THIS PROJECT. COORDINATE WITH THE COLLEGE REGARDING CAMPUS AND WORKER ACCESS TO ALL AREAS, USE OF NOISE GENERATING EQUIPMENT, GENERATION OF DIRT, DUST, OR FUMES, ETC.
- THERE IS NO CAMPUS CONTROLLED PARKING (E) AVAILABLE FOR CONTRACTOR USE IN THE VICINITY OF THIS BUILDING. CONTRACT WITH PRIVATE VENDORS IN THE AREA TO ARRANGE FOR PARKING SPACE.
- PROPOSED STAGING AREA BOUNDARIES HAVE NOT BEEN REVIEWED OR APPROVED BY ANY AUTHORITY HAVING JURISDICTION OR THE PUBLIC TRANSPORTATION AUTHORITY. FINAL STAGING AREA IS TO BE COORDINATED WITH THE OWNER AND AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION, AND IN COORDINATION WITH CONTRACTORS FROM CONCURRENT PROJECTS. DO NOT BLOCK ANY EXIT WAYS FROM BUILDING WITH FENCING.

SITE PLAN NOTES

- EXISTING TREE. PROVIDE PROTECTION FENCE AT $\langle 1 \rangle$ DRIP LINE. SEE SPEC. SECTION 015000, "TEMPORARY FACILITIES AND CONTROLS" AND 013591 "HISTORIC TREATMENT PROCEDURES" FOR PROTECTION AND MAINTENANCE REQUIREMENTS DURING THE PERFORMANCE OF PROJECT WORK.
- EXISTING PLANTING BED. PROTECT AND MAINTAIN FOR THE DURATION OF PROJECT WORK PER SPEC. SECTION 015000, "TEMPORARY FACILITIES AND CONTROLS".
- EXISTING ACCESSIBILITY RAMP. THIS ROUTE INTO THE BUILDING MUST BE AVAILABLE TO THE PUBLIC FOR THE DURATION OF THE PROJECT. PROVIDE OVERHEAD PROTECTION PER SPEC. SECTION 015000, "TEMPORARY FACILITIES AND CONTROLS"
- LOADING DOCK AREA MUST REMAIN OPEN FOR 4 COLLEGE USE TYPICALLY. COORDINATE WORK ACTIVITY IN THIS AREA WITH THE COLLEGE TO ENSURE AT LEAST PARTIAL ACCESS. PROVIDE OVERHEAD PROTECTION ON EXIT ROUTES WHEN PROJECT WORK IS TAKING PLACE IN THE VICINITY.
- CLOSE OFF AND PROTECT EXISTING BIKE RACKS 5 DURING THE PHASE OF THE ADJACENT ROOF MORK.
- DISASSEMBLE EXISTING SCAFFOLDING AND 6 PROTECTIVE NETTING. TURN OVER TO OWNER (E.C.D.P.W.) COORDINATE DELIVERY TO DESIGNATED LOCATION WITH OWNER'S REPRESENTATIVE.

GENERAL STAGING/SITE NOTES:

- NO ON SITE CONTRACTOR PARKING IS AVAILABLE.
- 2. STAGING AREAS AND CRANE LOCATIONS SHALL BE DISCUSSED AT THE PRE-BID WALK THROUGH AND PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL BARRICADE IN THE FORM OF A 8'-O" HIGH CHAIN LINK FENCE AROUND THE PERIMETER OF ALL STAGING AREAS TO PREVENT PUBLIC ACCESS. THE FENCE SHALL HAVE A 12' WIDE LOCKABLE DOUBLE GATE.
- CONTRACTOR WILL NOT HAVE ACCESS TO THE ROOF FROM INSIDE THE BUILDING. CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S OPTION, A SCAFFOLDING STAIR TO ACCESS THE ROOF DURING CONSTRUCTION. THIS ACCESS WILL BE WITHIN THE STAGING AREA AND BE LOCKED WHEN NOT IN USE. EXACT LOCATION MAY BE DETERMINED AT THE PRE-CONSTRUCTION MEETING.
- 5. CONTRACTOR SHALL PROVIDE A FLAG MAN AT CONTRACTOR'S COST, TO DIRECT TRAFFIC WHEN ACCEPTING MATERIAL DELIVERIES.
- 6. ALL BUILDING EGRESS SHALL BE MAINTAINED AT ALL TIMES.
- REFER TO THE STAGING PLAN PAVEMENT, SIDEWALKS, VEGETATION & GRASS AREAS FOR A PRELIMINARY INDICATION OF ACCESS AROUND THE BUILDING.
- THE CONTRACTOR SHALL COORDINATE CRANE STAGING, CONTRACTOR STAGING AREA, ACCESS, PARKING, DELIVERY AND STORAGE WITH OWNER'S REPRESENTATIVE, IN COORDINATION WITH CONTRACTOR FOR CONCURRENT SKYLIGHT PROJECT.
- EXTERIOR EGRESS PATHS, WALKWAYS AND ENTRANCES INDICATED SHALL REMAIN UNOBSTRUCTED AND OPEN FOR OCCUPANT CIRCULATION DURING THE WORK OF THIS PROJECT. PROVIDE OVERHEAD PROTECTION IN LOCATIONS SHOWN ON STAGING PLANS THIS SHEET. COORDINATE EXACT LOCATIONS WITH EGRESS DOORS AT SITE.
- 10. IN COORDINATION WITH THE OWNER'S REPRESENTATIVE, REPAIR ANY DAMAGE TO EXISTING CONSTRUCTION AND SITE WORK (INCLUDING BUT NOT LIMITED TO: GRASSED AREAS, LANDSCAPING, CURBS, CONCRETE WALKWAYS, AND ASPHALT PAVING.) CAUSED BY THE WORK OF THIS PROJECT. REPAIRS TO MATCH ADJACENT SURFACES. REFER TO SPECIFICATION SECTION 02 57 50.
- TEMPORARY TRAFFIC BARRIERS ON ELLICOTT STREET TO BE COORDINATED WITH BUFFALO FIRE STATION ACROSS THE STREET TO ALLOW FOR EMERGENCY VEHICLE TRAFFIC AT ALL TIMES. PROVIDE PERSONNEL AT CONTRACTOR'S COST TO MOVE, OPEN RELOCATE BARRIERS AS REQUIRED.



215 Wyoming Street 1160-C Pittsford-Victor Rd Syracuse, NY 13204 Pittsford, NY 14534 info@bellandspina.com www.bellandspina.com

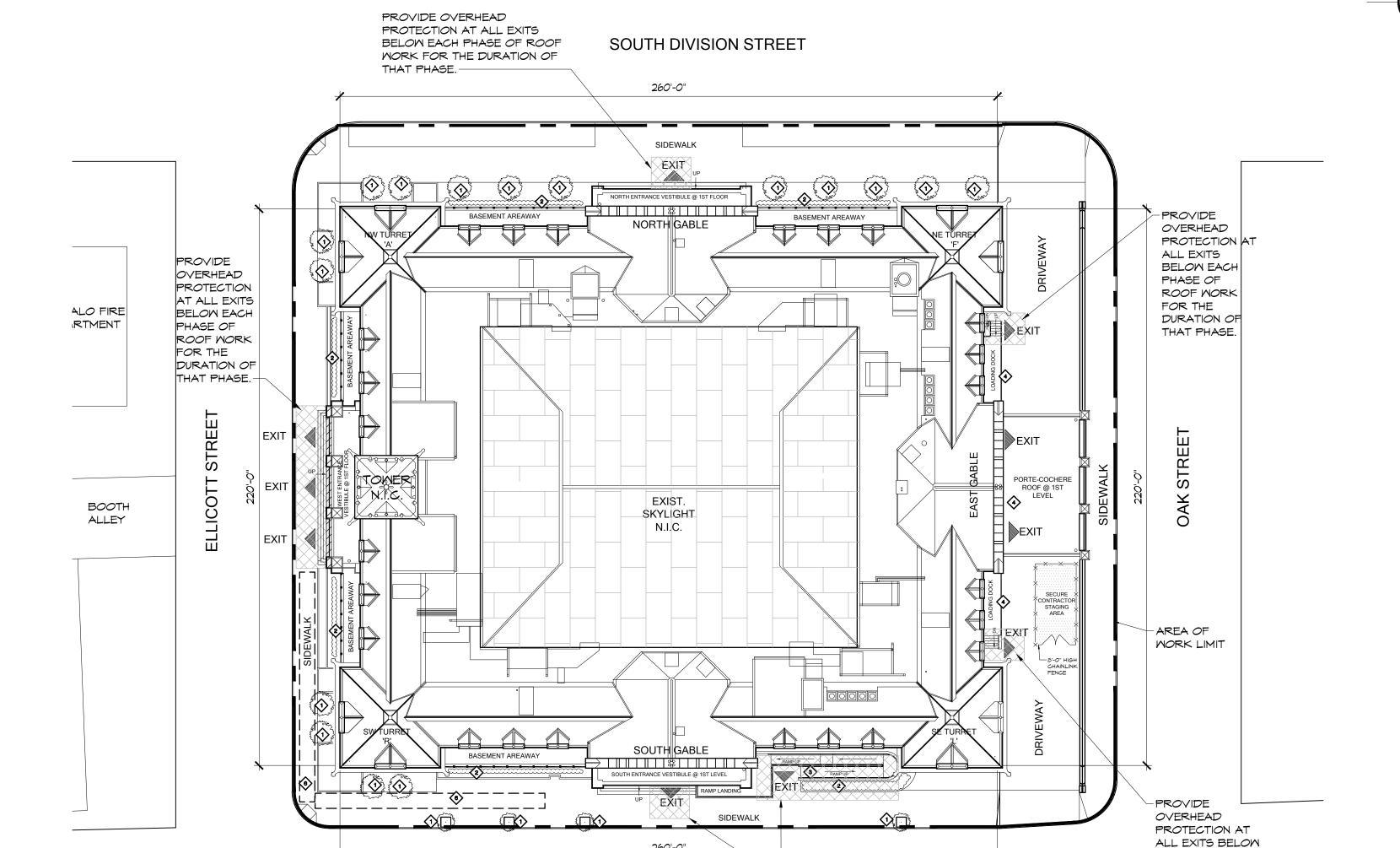
Tel (315) 488 - 0377 Tel (585) 200 - 5038 Fax (315) 487 - 5947 Fax (585) 487 - 9532

PROJECT#: 548-22-003

BID SUBMISSION

LOCATION MAP

11/14/22

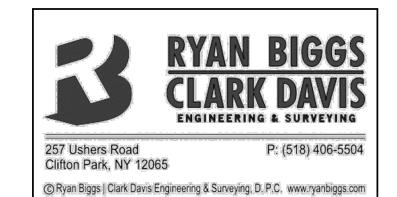


PROJECT SITE PLAN

BISON BALLPARK PLAZA

260'-0"

SWAN STREET



-PROVIDE OVERHEAD

THAT PHASE.

PROTECTION AT ALL EXITS

BELOW EACH PHASE OF ROOF

WORK FOR THE DURATION OF

These plans and specifications were prepared by Bell & Spina P.C. Architects / Planners, Syracuse, New York 13204, and to the best of this Office's knowledge, information and belief, said plans and specifications meet the requirements of the 2020 International Fire Code, Building Code, and Energy Conservation Construction Code of New York State. After visiting the site of the work and fully informing themselves as to all existing conditions and limitations, each bidder is required to notify the office of the Architect, in writing, prior to the bidding, of any existing conditions shown on the drawings that have been changed and would prevent the intended installation of new work.

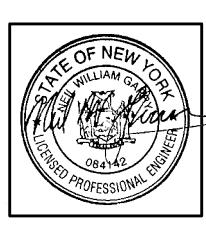
EACH PHASE OF

ROOF WORK FOR

THE DURATION OF

THAT PHASE.

It is a violation of the New York State Education Law, Article 145 Sec. 7209, for any person unless he is acting under the direction of a licensed professional Architect, Engineer or Land Surveyor to alter an item in any way. If an item bearing the seal of an Architect, Engineer or Land Surveyor is altered, the altering Architect, Engineer and/or Surveyor shall affix to the item his seal and the notation "altered by followed by his signature and the date of such alteration, and a specific description of the alteration. To the best of my knowledge, information, and belief, the construction documents for this project are in conformance with the Building Code of New York State and all other applicable Federal and State laws and regulations, all as currently amended.



SET NUMBER:

0

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GENERAL

. 2020 BUILDING CODE OF NEW YORK STATE (BCNYS) DESIGN PROVISIONS . RISK CATEGORY .. TERRAIN/EXPOSURE CATEGORY ..

2. CODE COMPLIANCE FOR EXISTING STRUCTURES:

DESIGN PROVISIONS 2020 EXISTING BUILDING CODE OF NEW YORK STATE (EBCNYS) CLASSIFICATION OR WORK (EBCNYS) ...

THE BUILDING IS CLASSIFIED AS A HISTORIC BUILDING

3. WIND LOADS:

COMPONENTS AND CLADDING HAVE BEEN DESIGNED TO ASCE 7-16, AS REFERENCED IN THE 2020 BUILDING CODE OF NEW YORK STATE (BCNYS) SECTION 1609.1 USING THE FOLLOWING PROCEDURE:

COMPONENTS AND CLADDING PART 3 (ASCE 7-16, SECTION 30.5)

ULTIMATE WIND SPEED (3 SECOND GUST) (V):	116 mj
ALLOWABLE STRESS DESIGN WIND SPEED (V _{ASD}):	90 mi
DIRECTIONAL FACTOR (Kd):	
TOPOGRAPHIC FACTOR (Kzt):	
GROUND ELEVATION FACTOR (Ke):	
VELOCITY PRESSURE COEFFICIENT (Kz):	
VELOCITY PRESSURE (qz):	
GUST EFFECT FACTOR (G):	
ENCLOSURE CLASSIFICATION:	ENCLOSE
INTERNAL PRESSURE COEFFICIENT (GCpi):	
MEAN ROOF HEIGHT (h):	
CORNER HIP ROOF:	96 fe
EDGE GABLE ROOF:	
CENTER GABLE ROOF:	
ROOF SLOPE:	21 ON :
	21 OIV

CENTER GABLE ROOF

EFFECTIVE WIND AREA (sf) ULTIMATE WIND PRESSURE TOWARD SURFACE (psf) ULTIMATE WIND PRESSURE AWAY FROM SURFACE (psf) 10 40 -81 20 36 -72 50 29 -61 100 25 -52				
20 36 -72 50 29 -61	WIND AREA	TOWARD SURFACE	AWAY FROM SURFACE	
	20 50	36 29	-72 -61	

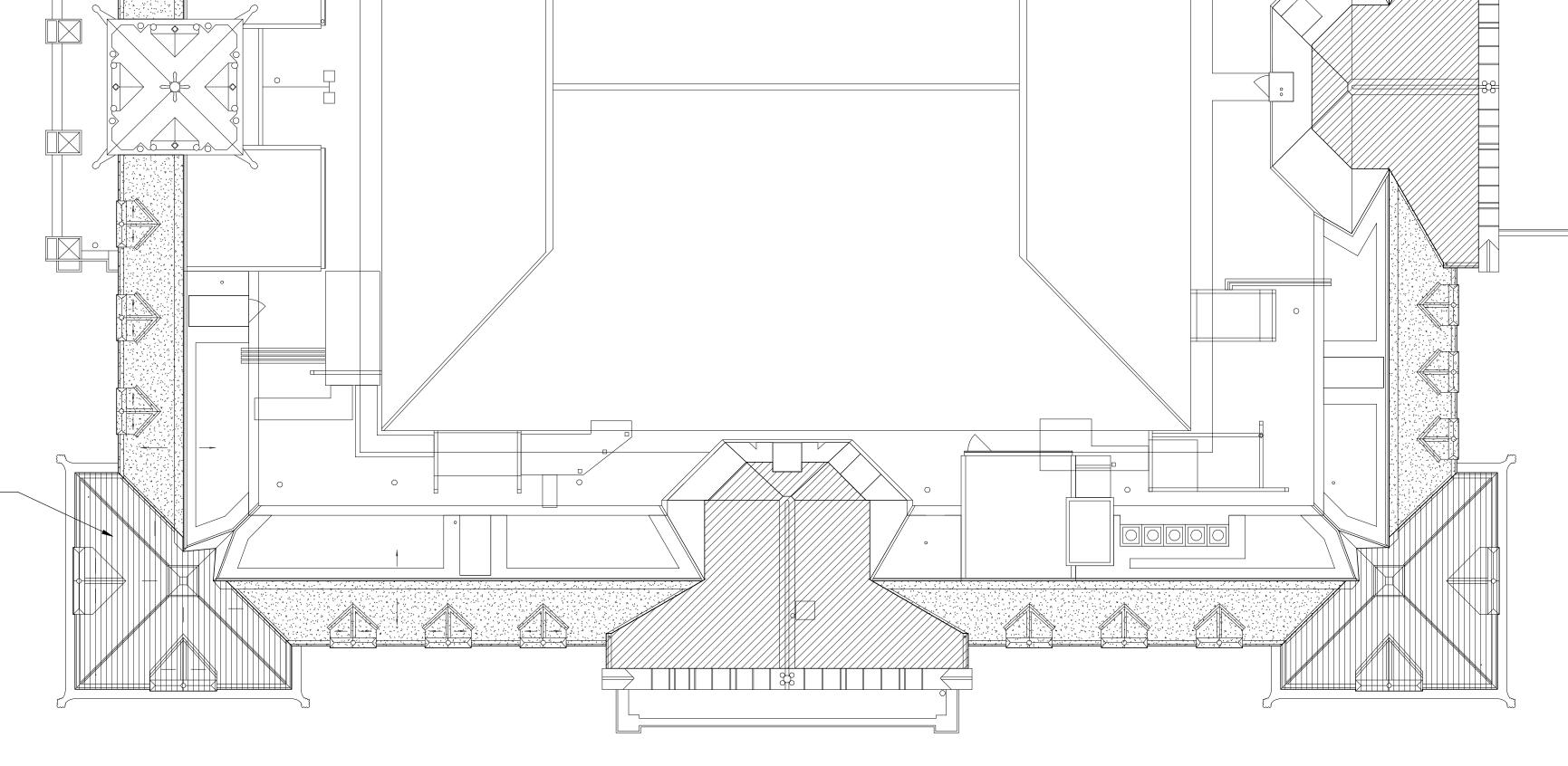
EDGE GABLE ROOF

EFFECTIVE	ULTIMATE WIND PRESSURE	ULTIMATE WIND PRESSURE
WIND AREA	TOWARD SURFACE	AWAY FROM SURFACE
(sf)	(psf)	(psf)
10	40	-73
20	36	-62
50	29	-47
100	25	-36

EFFECTIVE	ULTIMATE WIND PRESSURE	ULTIMATE WIND PRESSURE
WIND AREA	TOWARD SURFACE	AWAY FROM SURFACE
(sf)	(psf)	(psf)
10	40	-73
20	36	-62
50	29	-47
100	25	-36

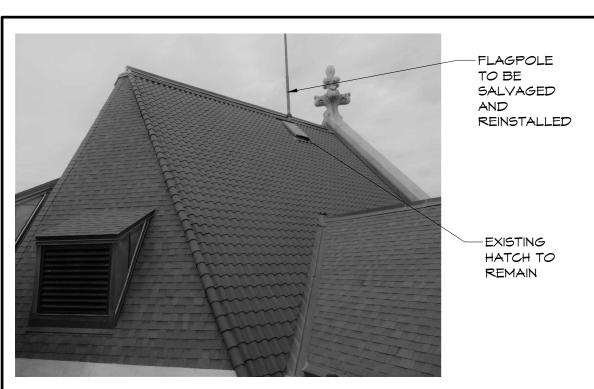
CORNER HIP ROOF

EFFECTIVE	UTLIMATE WIND PRESSURE	ULTIMATE WIND PRESSURE
WIND AREA	TOWARD SURFACE	AWAY FROM SURFACE
(sf)	(psf)	(psf)
5	40	-140
10	31	-99
20	27	-73
50	22	-44
100	18	-44



COMPONENTS AND CLADDING WIND LOADING PLAN
SCALE: 1/16" = 1'-0"

SHEET TITLE: GENERAL NOTES AND WIND LOAD PLAN



SHINGLES

EXISTING

ELEVATOR

PENTHOUSE #2

RD

ROOF (N.I.C.)

ELEVATOR

PENTHOUSE #1

ROOF (N.I.C.)

#4/AD-101

-EXISTING COPPER WALL FLASHING

WALL TO REMAIN. CAREFULLY

DETACH COPPER RIDGE CAP AT

SOLDERED SEAM, TYPICAL ALL

TYP. AT THE BACKSIDE OF THE GABLE

EXIST

A/C

UNIT

FLAT B.U.R.

ROOF (N.I.C.)

[NOTE #6]

(N.I.C.)

22:12

22:12

←5−

|| ASPHALT

SHINGLES

(N.I.C.)

EXISTING CLOCK

TOWER AND ITS

ASSOCIATED

ROOF (N.IC.)-

EXISTING B.U.R.

ROOF (BELOW)

EXISTING STONE

GABLE CAP TO

REMAIN, TYPICAL-

EXISTING STONE

GABLE CAP TO

EXISTING STONE

BANDCOURSE TO

REMAIN, TYPICAL-

5TH FLOOR

REMAIN, TYPICAL-

ENTRANCE

[NOTE #6]-

N.I.C.

FLAT BUR

ROOF

(N.I.C.)

[NOTE #6]

PHOTO #1: BACK OF CENTRAL DORMER



EXISTING

ASPHALT

SHINGLE ROOF (N.I.C.)

TO REMAIN

EXISTING

HIP TILES

MITH END

CLOSURE

15":12"

EXIST. VENT TOWER #

ROOF

COATED BUR

ROOF (N.I.C.)

PHOTO #2: BOTTOM OF CENTRAL DORMER

SALVAGE EXISTING

SALVAGE EXISTING

-EXISTING STONE GABLE

CAP TO REMAIN

EXIST.

A/C

UNIT

-EXISTING

FLASHING OF

FLAT ROOF

TO REMAIN

EXISTING

FLASHING OF

FLAT ROOF

TO REMAIN

←—5——

EXIST. A/C UNIT

ASPHALT SHINGLES

" #2/AD-101

SALVAGE EXISTING

FLAGPOLES, TYPICAL-

TYPICAL-

COPPER RIDGE CAP

TYPICAL ALL DORMERS

FLAGPOLES, TYPICAL

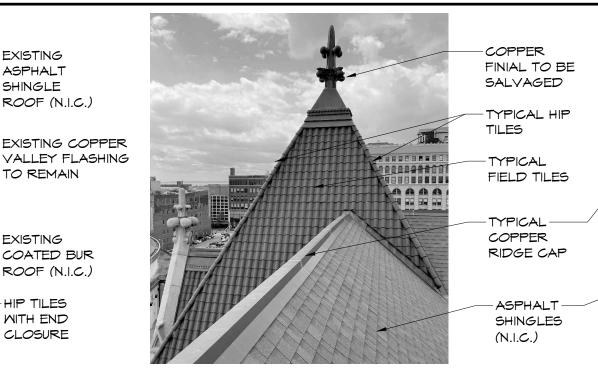


PHOTO #3: CORNER TURRET

ROOF WITH COPPER FINIAL

#1/AD-101

EXISTING

ELEVATOR

PENTHOUSE

#3 R00F

(N.I.C.)

(N.I.C.)

-EXISTING ENTRANCE ROOF

15":12"

(BELOM)

EXISTING B.U.R. (N.I.C.)

[NOTE #6]

-EXISTING ENTRANCE ROOF

-EXISTING ROOF HATCH

TO REMAIN. SALVAGE

REINSTALLATION

COPPER FLASHING FOR

(BELOM)

15":12"

EXISTING B.U.R. (N.I.C.) [NOTE #6]

SKYLIGHT ASSEMBLY (N.I.C).

REPLACEMENT WORK TO BE

OCCURRING SIMULTANEOUSLY.

COORDINATE WITH CONTRACTOR

ON STAGING AND SCAFFOLDING -

SALVAGE ALL STEEL SNOW

FENCE ASSEMBLIES, REPAIR

EXIST.
VENT
TOWER

RD (

SHINGLES

(M.I.C.)

ASPHALT

SHINGLES

(N.I.C.)

FLAT BUR

ROOF

(N.I.C.)

[NOTE #6]

FLAT BUR

ROOF

(N.I.C.)

[NOTE #6]

-EXISTING COPPER GUTTER

TO REMAIN, TYPICAL-

SHINGLES

SHINGLES

(N.I.C.)

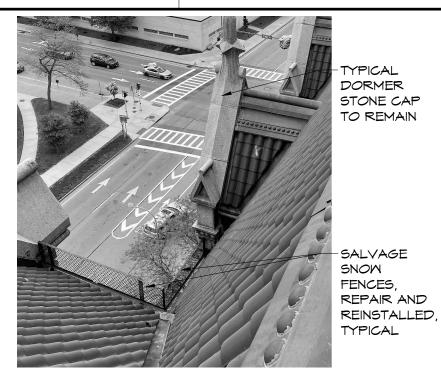
ROOF

(N.I.C.) [NOTE #6]

EXIST

AND PAINT TO MATCH,

PHOTO #4: TYPICAL BACKSIDE OF TURRET



VALLEY TO

SALVAGE HIP

CLOSED END TILE

TILE MITH

REMAIN

SALVAGE EXISTING

COPPER RIDGE CAP,

-EXISTING GABLE WALL STONE CAP AT ALL

DORMERS TO REMAIN.

EXISTING COPPER FINIAL AND SUB STRUCTURE TO REMAIN. SALVAGE BOTTOM

COPPER APRON FOR

ALL EXISTING COPPER

VALLEYS TO REMAIN,

EXISTING COPPER GUTTER TO REMAIN,

MISSING STONE FINIAL

REMAIN, TYPICAL

-EXISTING GABLE WALL STONE

CAP AT ALL DORMERS TO

-EXISTING COPPER GUTTER

-EXISTING STONE 5TH FLOOR

BANDCOURSE TO REMAIN,

SALVAGE SNOW GUARD

FENCE ASSEMBLIES,

TYPICAL

TYPICAL

ROOF PLAN FROM 2010 CONSTRUCTION DRAWINGS BY FLYNN BATTAGLIA ARCHITECTS.

FIELD VERIFY EXISTING CONDITIONS.

TO REMAIN, TYPICAL

-EXISTING ROOF TO

PORTE-COUCHE

REINSTALLATION.

TYPICAL OF 4

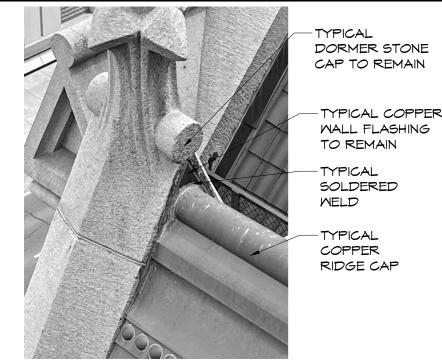
TYPICAL

EXISTING B.U.R. (N.I.C.)

[NOTE #6]

TYPICAL ALL DORMERS

PHOTO #5: TYPICAL SMALL DORMER AND FRONT VALLEY



MALL FLASHING TO REMAIN SOLDERED MELD COPPER RIDGE CAP

PHOTO #6: COPPER CAP AT BACK OF DORMER



PHOTO #7: TYPICAL SMALL DORMER SNOW FENCE & BRACKET

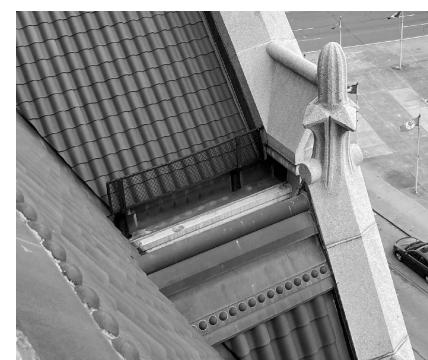
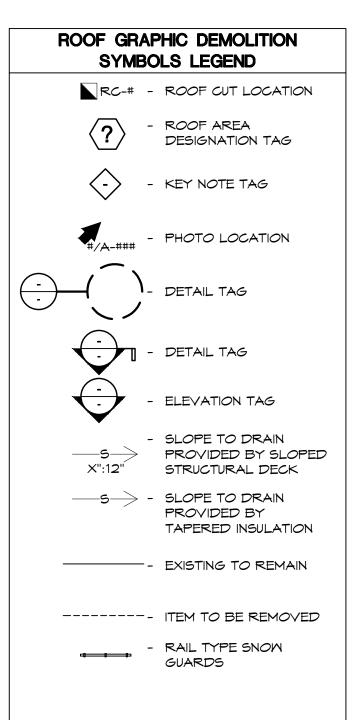


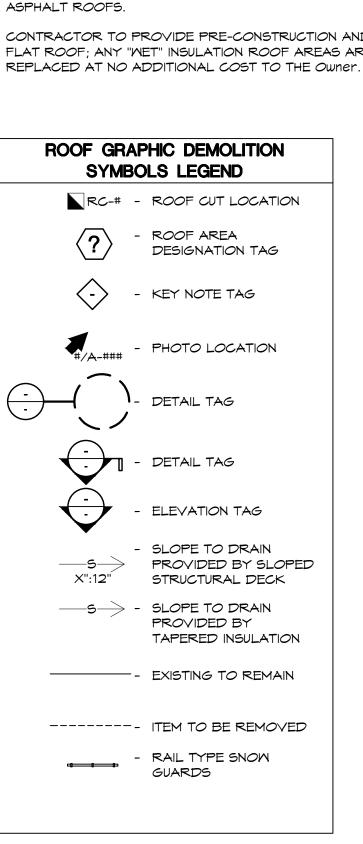
PHOTO #8: LARGE DORMER SNOW FENCE & BRACKET



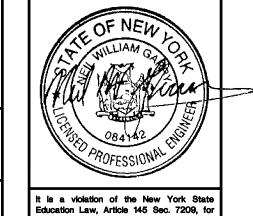
GENERAL PROJECT COORDINATION NOTES:

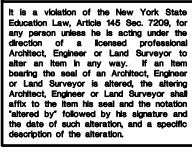
- THIS PROJECT IS DESIGNED IN ACCORDANCE WITH 2020 EXISTING BUILDING CODE OF NEW YORK STATE (REFERENCING THE 2018 INTERNATIONAL CODES) AS A REPAIR.
- 2. A CONCURRENT PROJECT FOR REPLACING THE CENTER SKYLIGHT GLAZING PANELS IS SCHEDULED.
- 3. COORDINATION BETWEEN CONTRACTORS IS ANTICIPATED WEEKLY TO AVOID INTERFERENCE AND
- 4. CONTRACTOR'S TO COORDINATE WITH OWNER ON MAINTAINING BUILDING EXITS, STAGING AREAS, DUMPSTERS, PORT-A-POTTIES AND CRANE LOCATIONS AS EACH PROJECT MOVES AROUND THE BUILDING IN PHASES.
- 5. ALL EXISTING CLAY ROOF TILES ARE TO BE SALVAGED FOR REINSTALLATION AND/ OR ATTIC STOCK. REFER TO DETAIL 1/ A-501. COORDINATE WITH OWNER FOR STORAGE OF ATTIC STOCK.
- 6. PROTECT EXISTING BUR AT ACTIVE WORK AREAS WITH $\frac{3}{4}$ " PLYWOOD OVER 1" POLYSTYRENE RIGID INSULATION . PROTECT ROOF DRAINS WITH GEOTEXTILE FABRIC OVER / UNDER STRAINERS.
- 7. CONTRACTOR TO PROVIDE ROOF PROTECTION TO THE EXISTING WARRANTIED FLAT ROOF AND
- 8. CONTRACTOR TO PROVIDE PRE-CONSTRUCTION AND POST CONSTRUCTION MOISTURE SURVEYS OF FLAT ROOF; ANY "WET" INSULATION ROOF AREAS ARISING FROM CONSTRUCTION ACTIVITY TO BE

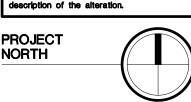


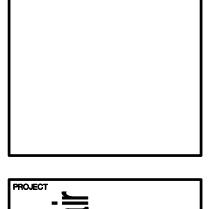












Repair 000 1000 Clay College Building mmunity Street

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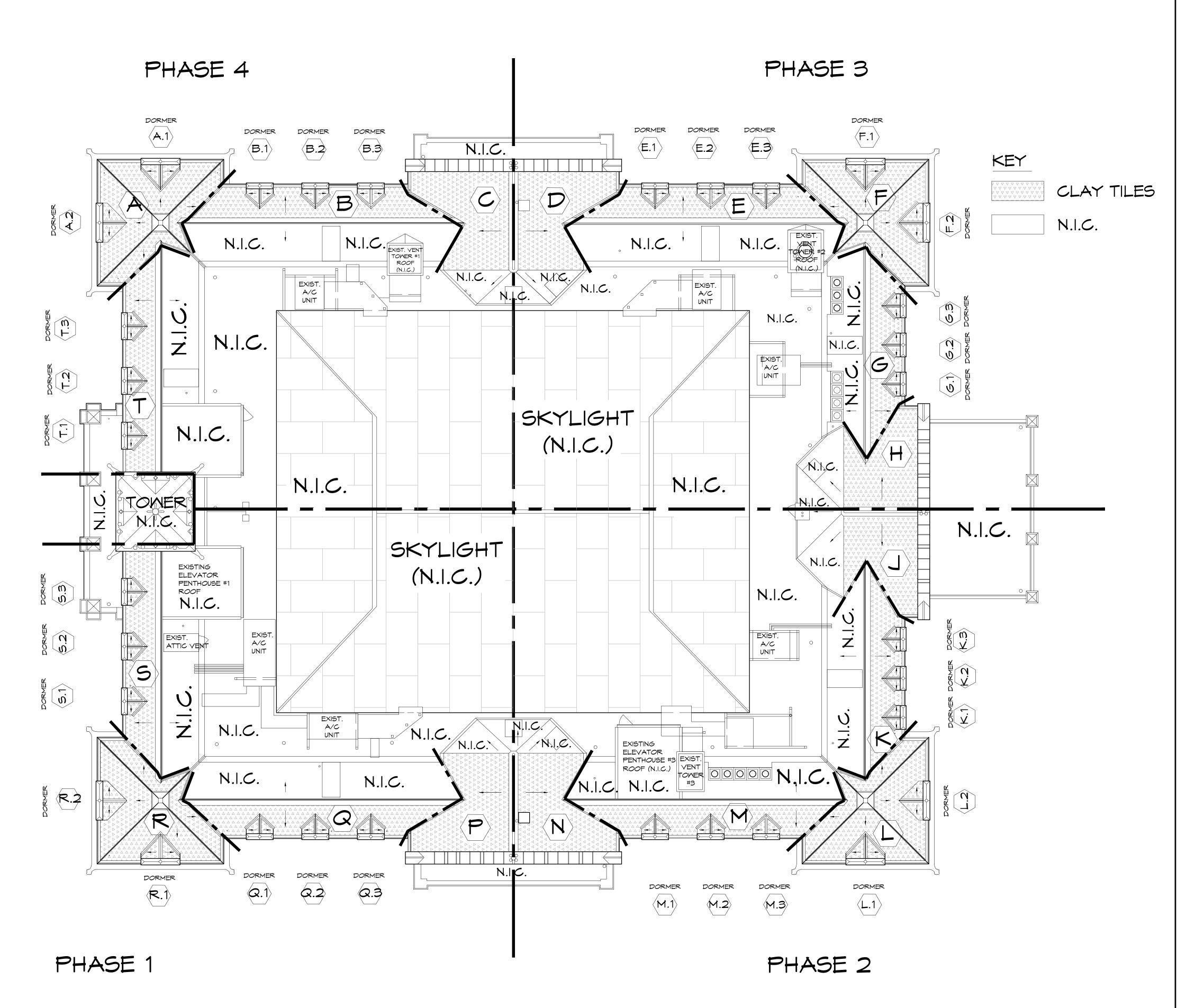
PROJECT NUMBER 548-22-003 The Contractor shall verify all dimension and notify the Architect in writing of ar All drawings and specifications are the property of the Architect and shall be used only on the job designated. MARK DATE DESCRIPTION NWG

11/14/22 AS NOTE SHEET TITLE

ROOF PLAN -REMOVALS

SHEET NUMBER AD-101 SHEET _____3 OF ____11

REMOVALS ROOF PLAN SCALE: 1/16" = 1'-0"



GENERAL SCOPE AND PHASING NOTES:

- 1. THIS PROJECT IS DESIGNED IN ACCORDANCE WITH 2020 EXISTING BUILDING CODE OF NEW YORK STATE (REFERENCING THE 2018 INTERNATIONAL CODES) AS A REPAIR.
- 2. EXPOSED MATERIALS THAT WERE ANTICIPATED TO BE WITHIN THE SCOPE OF THIS PROJECT AT THE TIME OF DESIGN HAVE BEEN TESTED FOR ASBESTOS AND LEAD PAINT CONTENT. SEE THE HAZARDOUS MATERIAL SURVEY REPORT APPENDED TO THE PROJECT MANUAL FOR A LIST OF TESTED MATERIALS. AND THEIR RESULTS. IN SUMMARY, ACM MATERIALS AND LEAD BASED MATERIALS ARE NOT ANTICIPATED TO BE DISTURBED.
- 3. THE SCOPE OF WORK GENERALLY INCLUDES THE FOLLOWING:
- 3.1. COMPLETE LIFT AND REINSTALLATION OF THE EXISTING ROOF TILES DOWN TO THE EXISTING WOOD BATTENS AND ASSOCIATED COPPER ROOF FLASHINGS,
- 3.2. REINSTALLATION OF THE SALVAGED CLAY TILES WITH SCREWS AND WIND CLIPS,
- 3.3. INCIDENTAL REPLACEMENTS OF DAMAGES TILES AND WOOD BATTENS,
- 3.4. MODIFICATIONS AND REPAIRS TO THE EXISTING COPPER WALL AND VALLEY FLASHINGS,
- 3.5. REMOVE ALL SYNTHETIC MORTAR, KNOWN AS 'FLEXIM' AND REPLACE WITH NEW TYPE 'M' MORTAR AT VALLEYS, CUT TILES AND OTHER LOCATIONS WHERE THE GAP EXCEEDS TILE MANUFACTURER'S RECOMMENDATIONS.
- 3.6. REINSTALLATION OF SALVAGED COPPER RIDGE CAPS AND TURRET FINIALS, AND STEEL SNOW GUARD ASSEMBLIES.
- 3.7. RELATED BUILDING/OCCUPANT PROTECTION AND SITE RESTORATION,
- 3.8. THE ROOFING SYSTEMS AND FLASHINGS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH FM GLOBAL STANDARDS TO ACHIEVE A 1-90 RATING (ZONE 1) UNLESS NOTED OTHERWISE. CUSTOM FABRICATED PERIMETER EDGE METAL FLASHINGS ARE REQUIRED TO TESTED AND APPROVED IN ACCORDANCE WITH ANSI/SPRI/FM-4435/ES-1 UNDER THIS CONTRACT. REFER TO THE PROJECT SPECIFICATIONS.
- 4. PROJECT MOCKUPS: MOCKUP REQUIREMENTS ARE INNUMERATED IN THE PROJECT SPECIFICATIONS.

 THE FOLLOWING IN PLACE OR ON THE BUILDING MOCKUPS ARE REQUIRED. LOCATIONS TO BE

 APPROVED BY THE ARCHITECT AND PART OF PHASE 1.
- 5. BID ALTERNATES: THE PROJECT INCLUDES THE FOLLOWING BID ALTERNATES AS INDICATED IN THE SPECIFICATIONS, REFERENCE SECTION 012300 "ALTERNATES":
- 5.1. DEDUCT ALTERNATE #1: DEDUCT ROOFS 'B', 'E' AND ASSOCIATED DORMERS FROM THE SCOPE OF PROJECT
- 5.2. DEDUCT ALTERNATE #2: DEDUCT ROOFS 'G', 'K' AND ASSOCIATED DORMERS FROM THE SCOPE OF PROJECT.



ARCHITECTS

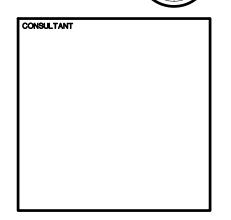
215 Wyoming Street 1160-C Pittsford-Victor
Surgelies NV 13204 Bitteford NV 145

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PROJECT NORTH



Elicott Street Building Clay Tile Roof Repair

SUNY Erie Commu98-12021 Ellicott Stre

The Contractor shall verify all dimensions and notify the Architect in writing of any liscrepancies.

All drawings and specifications are the property of the Architect and shall be

All drawings and specifications are the property of the Architect and shall be used only on the job designated.

MARK DATE DESCRIPTION

DRAWN CHECKED NWG

DATE SCALE

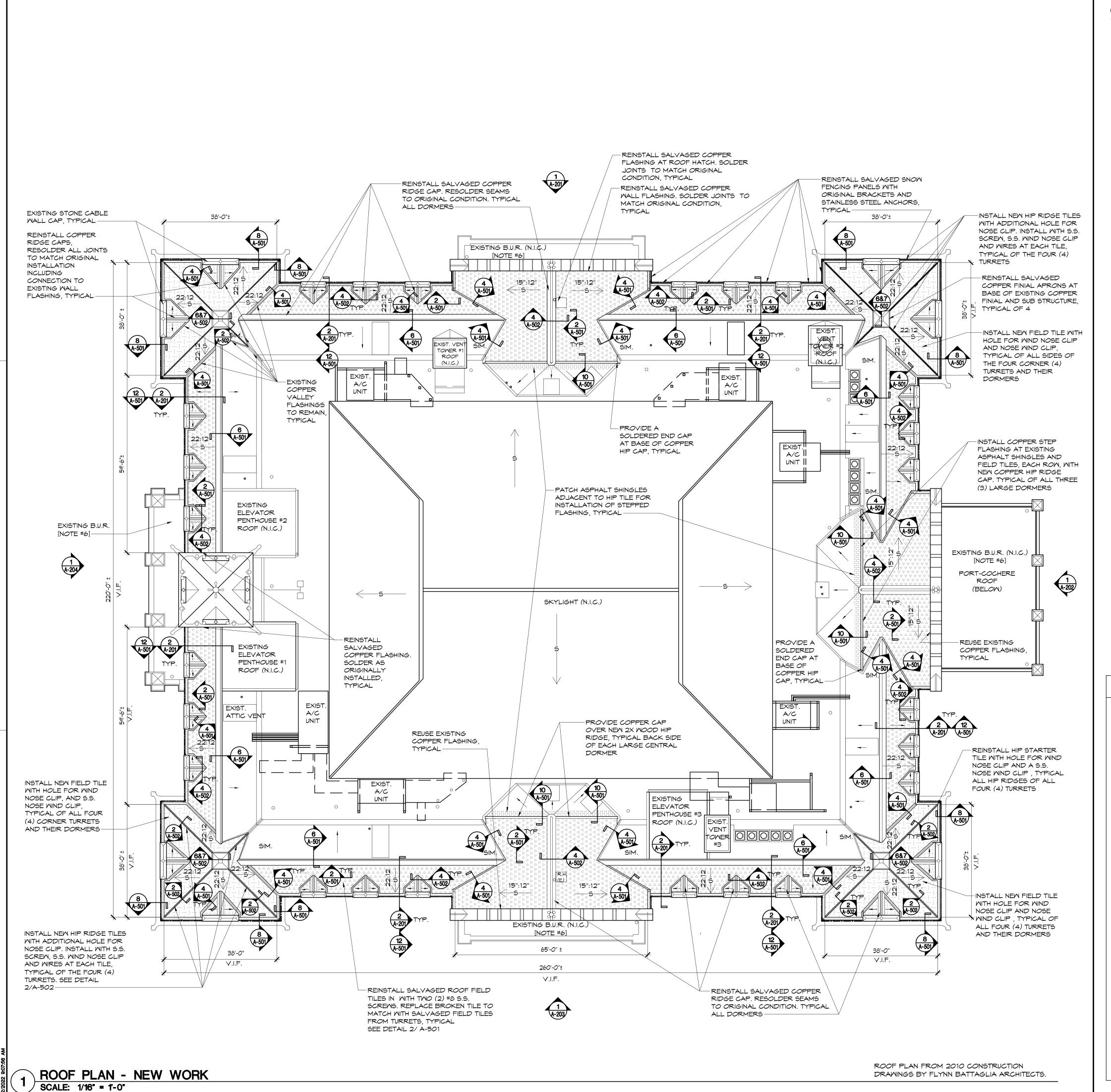
11/14/22 AS NOTED

SHEET TITLE

PHASING & KEY PLAN

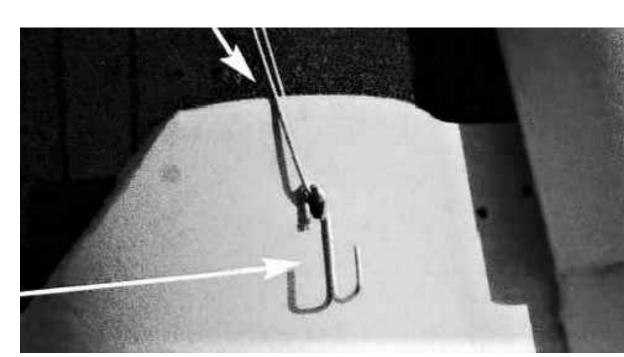
HEET NUMBER
A-001

1 PHASING AND KEY PLAN
SCALE: 1/16" = 1'-0"

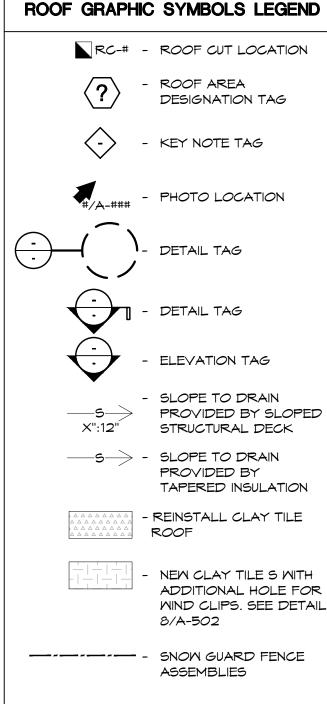


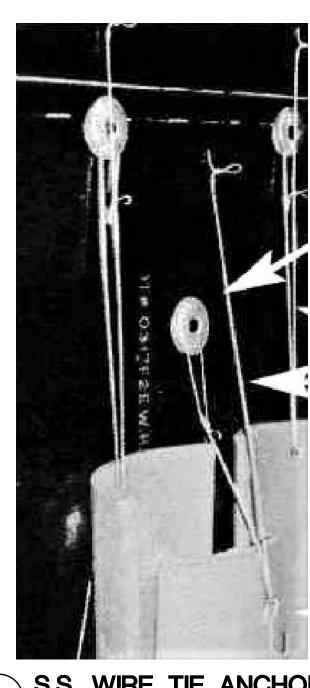
GENERAL NOTES:

- REMOVE EXISTING CLAY TILES IN THEIR ENTIRETY DOWN TO THE TOP WOOD BATTEN INCLUDING ALL METAL FLASHINGS, AND ADJACENT RIDGE CAPS UNLESS NOTED OTHERWISE. DECK TYPE IS CLAY TILE. SALVAGE EXISTING CLAY TILES FOR REUSE, NUMBER ON THE BACK AND SORT ACCORDINGLY (BASE BID). REFER TO DETAIL 2/A-50 I
- A. EXISTING WOOD BATTENS AND UNDERLAYMENT ARE TO REMAIN. B. COPPER VALLEY FLASHING ARE TO REMAIN.
- 2. DIMENSIONS GIVEN ARE FOR REFERENCE ONLY. THE EXISTING BUILDING EXTENTS AND MEASURES ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- 3. ALL ROOF PENETRATIONS ARE TO BE FLASHED WHETHER SHOWN OR NOT, ITEMS SHOWN ARE IN THEIR GENERAL LOCATION.
- 4. ALL COPPER RIDGE CAPS, TURRET FINIALS NOTED TO BE REMOVED TO BE CAREFULLY REPAIRED, AND STORED TO BE REINSTALLED IN THEIR EXACT LOCATION. SOLDERED SEAMS TO BE HEATED AND SEPARATED.
- 5. ARCHITECTURAL DETAILS SHALL GOVERN OVER MANUFACTURER'S DETAILS.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND CONFIRM THAT DETAILS AS SHOWN WILL INTERFACE WITH THOSE CONDITIONS.
- WATER DAMAGE NOTE: THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE BUILDING DRY DURING ROOFING OPERATIONS, ANY WATER OR DEBRIS ENTERING THE BUILDING CAUSED BY REROOFING WORK SHALL BE CLEANED UP BY THE CONTRACTOR. ANY DAMAGE TO THE BUILDING OR ITS CONTENTS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. IF WORK AFFECTS THE INTERIOR OF THE BUILDING, PRECAUTIONS SHALL BE TAKEN TO PROTECT THE BUILDING AND IT'S CONTENTS.
- - ALL TILE FASTENERS TO BE OF LENGTH SUFFICIENT TO PENETRATE SOLID WOOD DECK A MINIMUM OF I" BUT NOT PASS THROUGH DECK. - #8 STAINLESS STEEL SCREWS WITH A MINIMUM 3/8" DIAMETER HEAD UNLESS NOTED OTHERWISE
- SCREWS FASTENED NOT MORE THAN 9" O.C.
- NAILS USED FOR CLEATING 3" O.C. UNLESS NOTED OTHERWISE. FASTENERS IN METAL FLASHINGS ARE TO BE COMPATIBLE WITH METAL USED.
- POP-RIVETS ARE NOT PERMITTED.
- BLOCKING & DECKING:
 - ALL WOOD IS TO BE ANCHORED AS SPECIFIED, OR SHOWN. FASTENER SPACING: (NAILS / SCREWS) NOT MORE THAN 12" O.C.
 - ALL BLOCKING IS TO BE SOLID DIMENSIONAL LUMBER. NO VOIDS OR 'SKIP FRAMING' IS PERMITTED. VERIFY THAT ALL EXISTING DECKING IS FASTENED SECURELY. PROVIDE ADDITIONAL FASTENERS TO ASSURE SOLID AND STABLE NAILABLE WOOD SUBSTRATE. REPLACE ANY ROTTEN, DECAYED, OR OTHERWISE UNSTABLE DECKING UNABLE TO RESIST NAIL PULL OUT WITH NEW WOOD PLANK IN KIND.
- 10. AT COMPLETION OF ROOFING OPERATIONS CLEAN GUTTERS AND DOWNSPOUTS FROM ROOF TO GRADE.



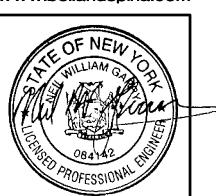
PROPOSED WIND NOSE CLIP SCALE: N.T.S.





3 S.S. WIRE TIE ANCHOR SCALE: N.T.S.

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It is a violation of the New York State Education Law. Article 145 Sec. 7209. fo any person unless he is acting under the direction of a licensed professional Architect, Engineer or Land Surveyor to alter an Item in any way. If an Item bearing the seal of an Architect, Engineer or Land Surveyor is altered, the altering Architect, Engineer or Land Surveyor shal affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

NORTH

epair 90 city Clay College Building

Erie Community Ellicott Street I

SUNY 2021 548-22-003 The Contractor shall verify all dimension and notify the Architect in writing of an All drawings and specifications are the property of the Architect and shall be used only on the job designated.

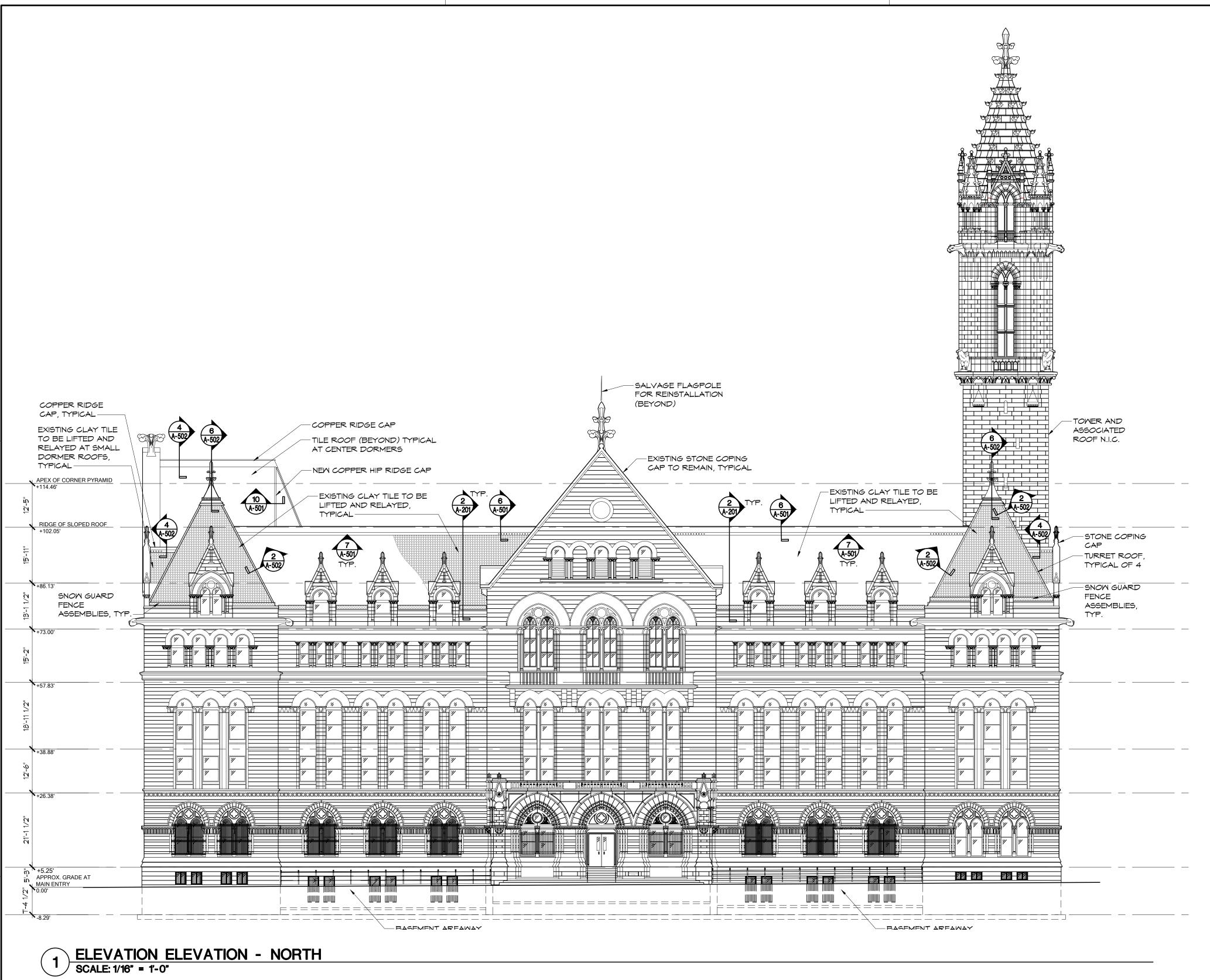
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NWG **KME** 11/14/22 AS NOTED

SHEET TITLE

ROOF PLAN - NEW WORK

SHEET NUMBER



- KALWALL SKYLIGHT SYSTEM OVER ORIGINAL STEEL TRUSS FRAMING. BEING REPLACED CONCURRENTLY (2023) RIDGE CAP STANDING SEAM 6 A-501 5 A-501 METAL CLADDING OVER CLAY TILE MASONRY (CIRCA 1901) EXIST. MODIFIED BIT OVER CONCRETE ROOF DECK EXIST. GUTTER EXIST FIFTH FLOOR—

2 ROOF SECTION - LOW GABLE
SCALE: 3/16" = 1'-0"

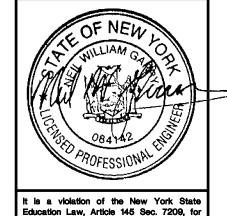


EXISTING COPPER TURRET AND RIDGE CAP 3 SCALE: N.T.S.



5 INSTALLATION OF COPPER FINIAL SUBSTRUCTURE SCALE: N.T.S.

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PROJECT NORTH

Repair 300f , College Building Street

Erie Con Ellicott (SUNY 2021

PROJECT NUMBER 548-22-003 All drawings and specifications are the property of the Architect and shall be used only on the job designated. MARK DATE DESCRIPTION

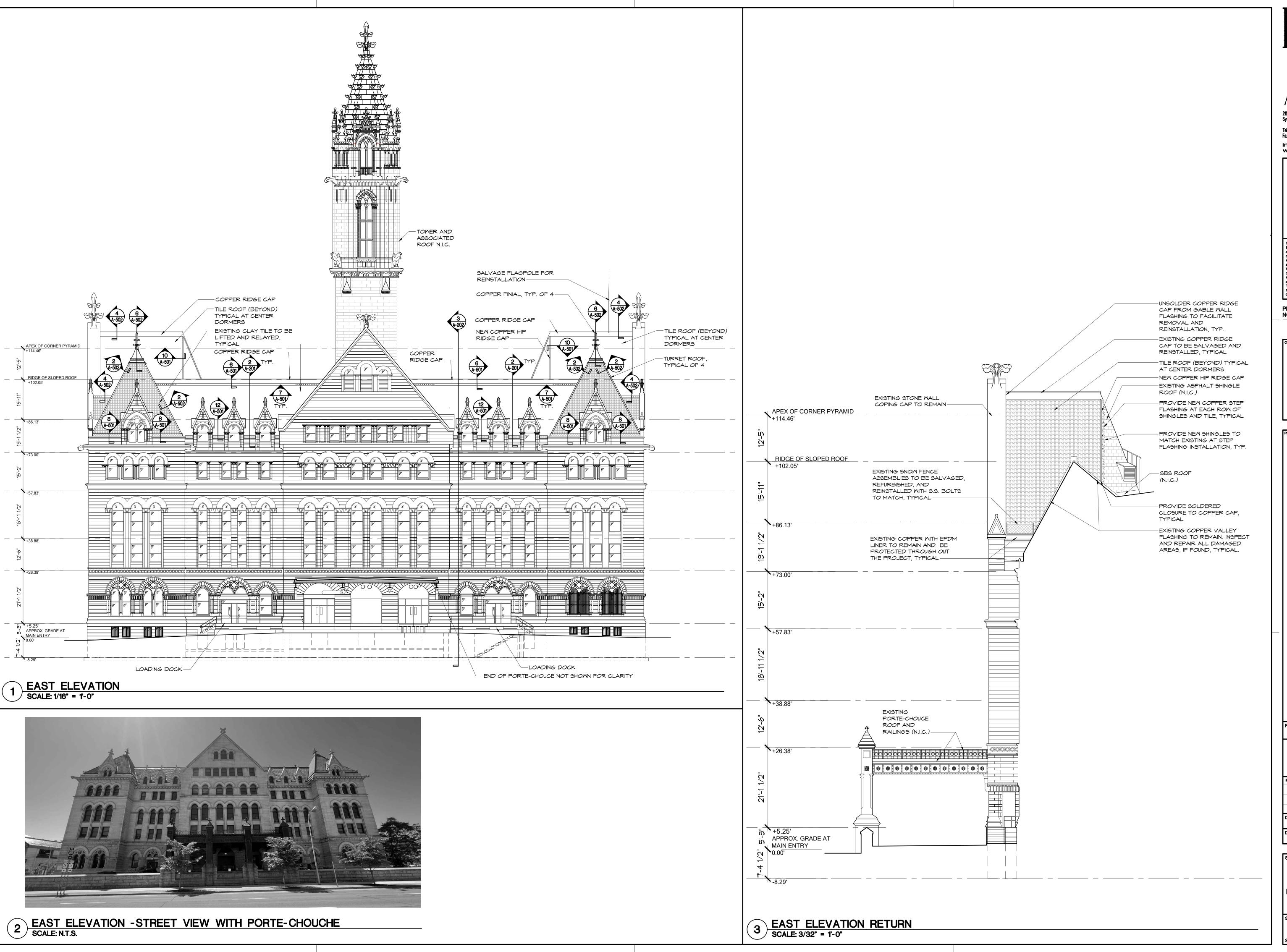
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11/14/22 AS NOTED

SHEET TITLE **EXTERIOR ELEVATIONS** -

NORTH

SHEET NUMBER A-201

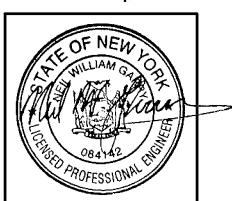




bell Splina
ARCHITECTS

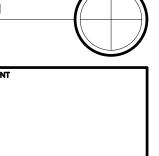
215 Wyoming Street 1160-C Pittsford-Victor Syracuse, NY 13204 Pittsford, NY 145

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PROJECT NORTH



PROJECT - E

nity College City Campus et Building Clay Tile Roof Repair

SUNY Erie Community 2021 Ellicott Street Buffalo, N.Y. 14203

PROJECT NUMBER
548-22-003

The Contractor shall verify all dimensions and notify the Architect in writing of any discrepancies.

and notify the Architect in writing of any discrepancies.

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MARK DATE DESCRIPTION

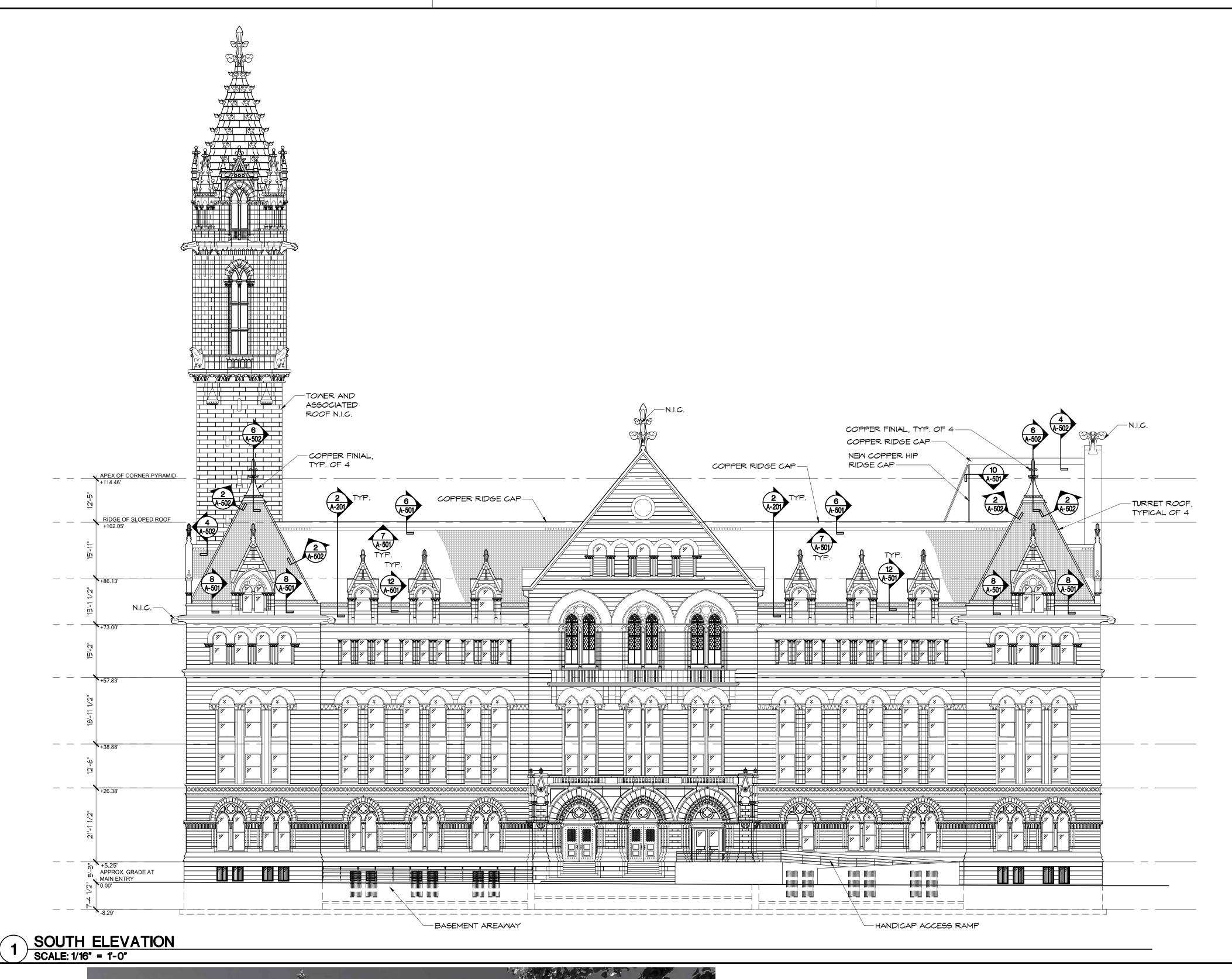
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DATE SCALE

11/14/22 AS NOTED

SHEET TITLE

EXTERIOR ELEVATIONS - EAST





TYPICAL SIDE ELEVATION - SMALL DORMER 2 TYPICAL SCALE: N.T.S.

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PROJECT NORTH

Repair Campus / Tile Roof , College Building

Erie Community
Ellicott Street SUNY 2021

PROJECT NUMBER 548-22-003

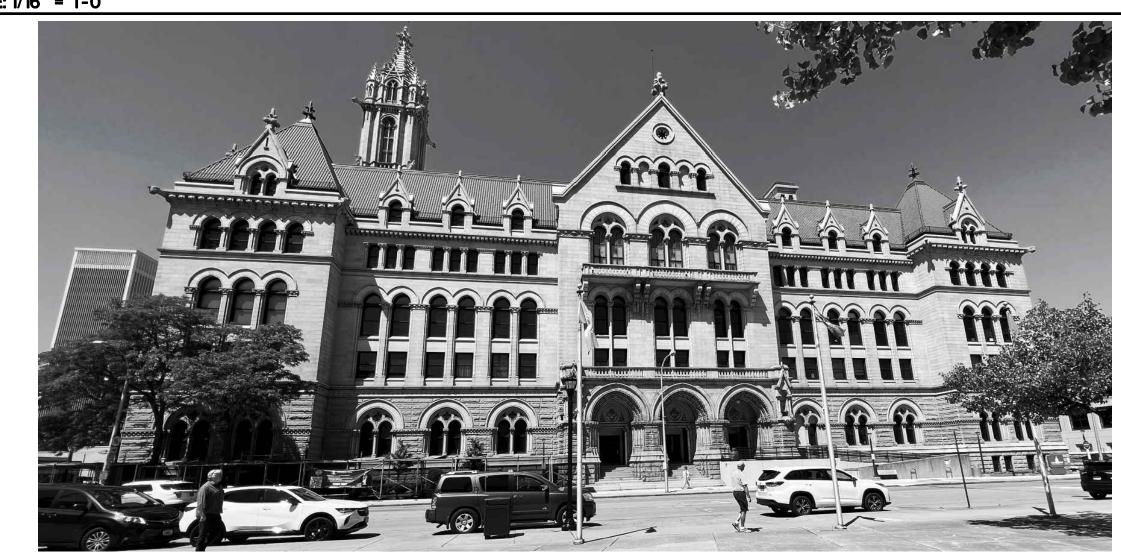
MARK DATE DESCRIPTION

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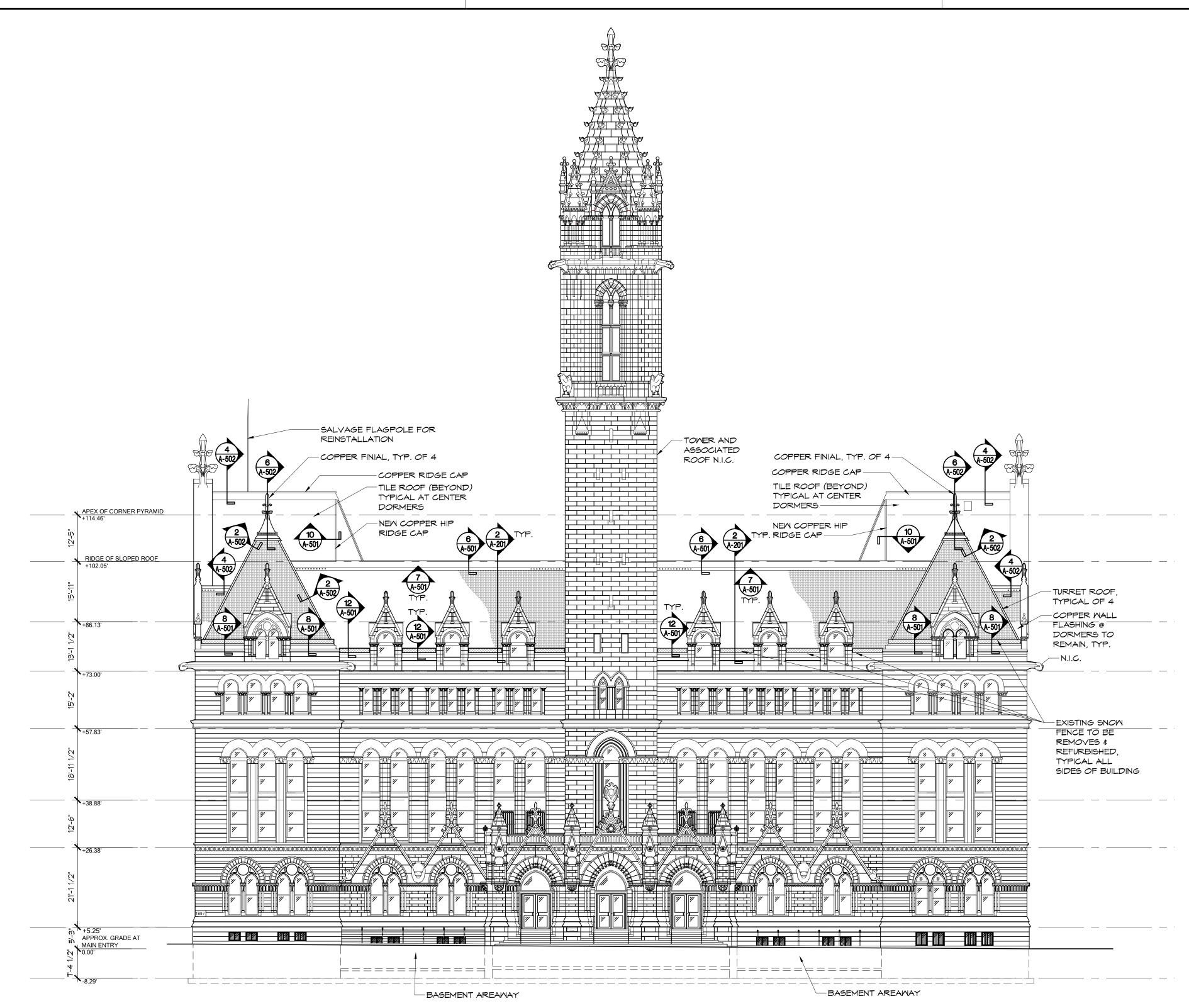
SHEET TITLE

EXTERIOR ELEVATIONS SOUTH

SHEET NUMBER A-203



3 SOUTH ELEVATION- STREET VIEW SCALE: N.T.S.



1 WEST ELEVATION
SCALE: 1/16" = 1'-0"



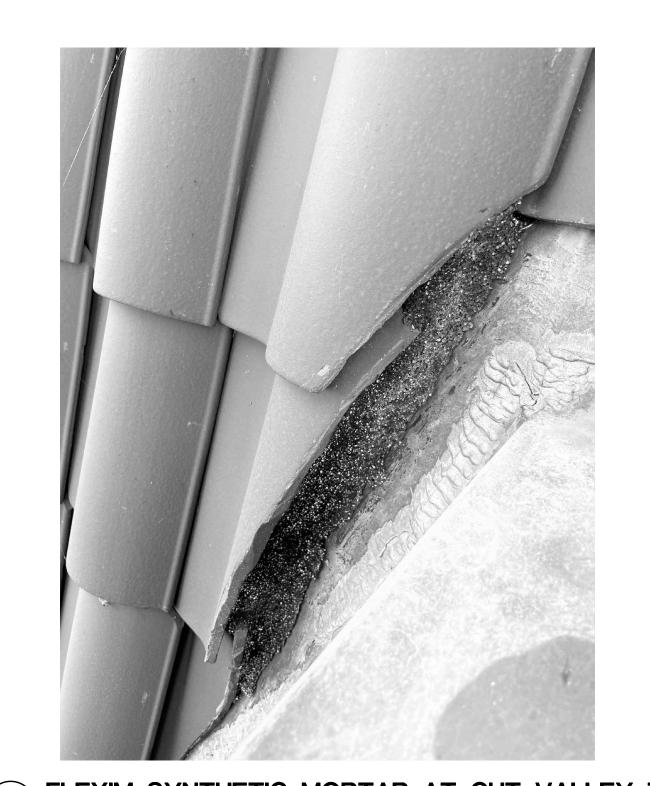
2 WEST ELEVATION - STREET VIEW SCALE: N.T.S.



3 SNOW GUARDS - WEST SIDE SCALE: N.T.S.



4 DISLODGED FLEXIM SYNTHETIC MORTAR SCALE: N.T.S.



5 FLEXIM SYNTHETIC MORTAR AT CUT VALLEY TILES- TO BE REMOVED SCALE: N.T.S.



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PROJECT NORTH

CONSULTANT

Community College City Campus

Ellicott Street Building Clay Tile Roof Repair

PROJECT NUMBER

548-22-003

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MARK DATE DESCRIPTION

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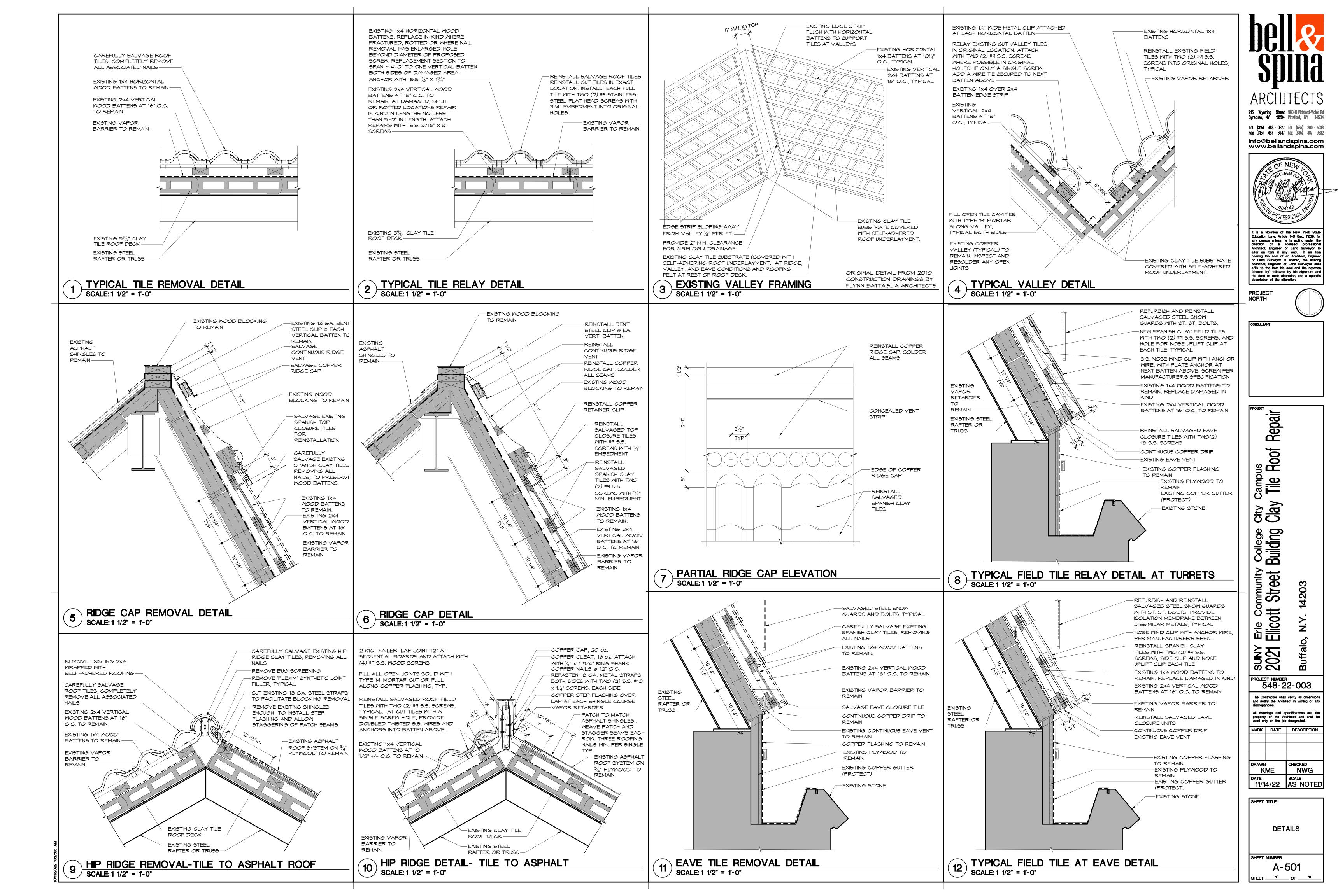
DATE SCALE

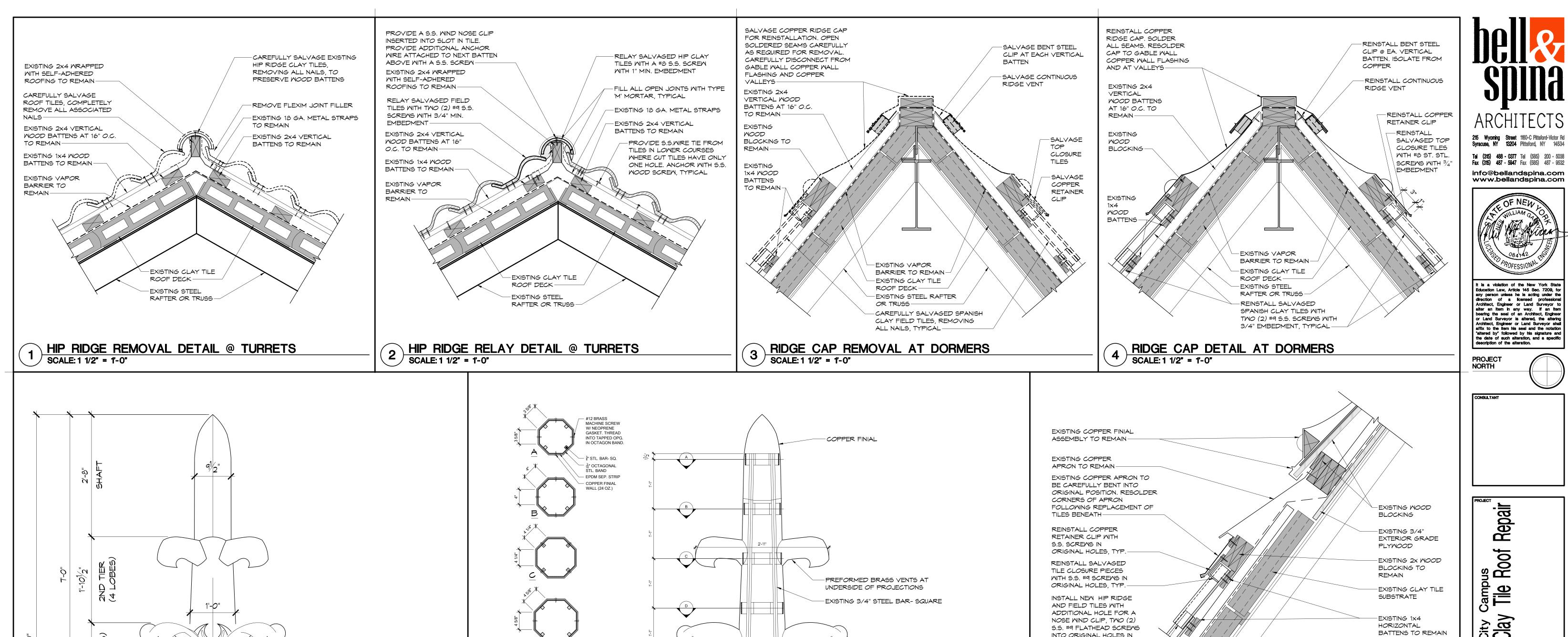
11/14/22 AS NOTED

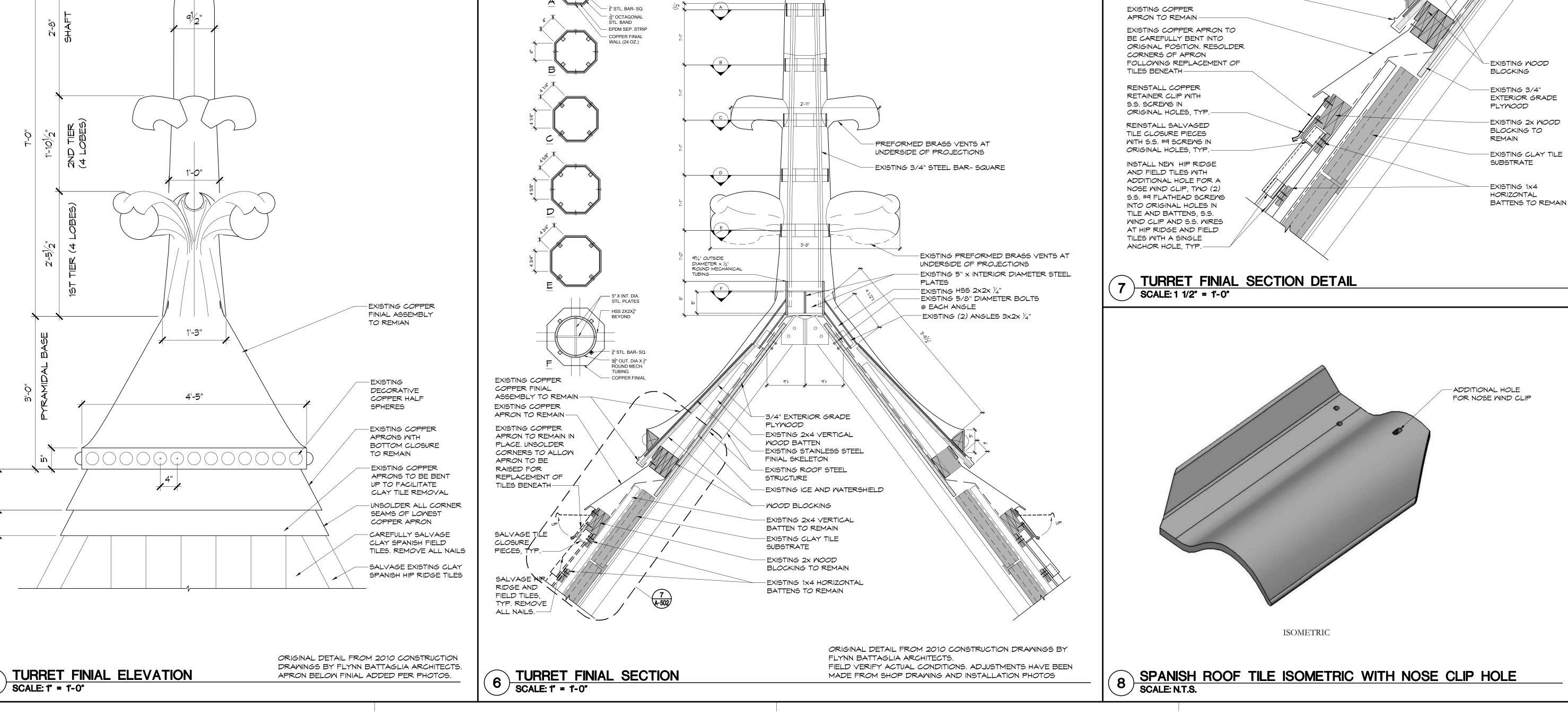
SHEET TITLE

EXTERIOR ELEVATIONS -

SHEET NUMBER
A-204







College Building

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Erie Co Ellicott

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PROJECT NUMBER 548-22-003

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11/14/22 AS NOTE

DETAILS

A-502

SHEET _____11 ___ OF ____11

SHEET TITLE

SHEET NUMBER

NWG

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